

SCOPE OF WORK
STABILIZATION REPAIRS AT THE SWAN HOTEL
SOUTH QUEEN AND VINE STREETS, LANCASTER, PA

The Work described below shall include all labor, material, equipment, means, and methods necessary to complete the work defined herein.

Project Location: The Swan Hotel building at the corner of S Queen and Vine Streets, Lancaster, PA

Project Owner: attn: Mr. Kevin Molloy
 Lancaster County Convention Center Authority
 25 South Queen Street
 Lancaster, PA 17603
 Phone 717-207-4110 Email krmolloy@lccca.com

Project Engineer: Robert R. Desmarais Jr, PE
 1410 Newton Rd, Lancaster, PA 17603
 Phone 717-381-1840 Email bob@rrdep.com

Project Conditions:

The site is an existing historic building in state of disrepair. The building is a brick masonry bearing wall structure with interior wood floor, wall, and roof framing.

The existing roof consists of wood rafters sheathed with 1x wood boards. The roof slopes at approximately 12:12. The roof west slope is covered with slate shingles.

The roof east slope is currently covered with rubber sheets secured to the sheathing with wood battens. It is assumed the installation of the rubber membrane was done to address deteriorated slates. It is unknown if the slate was removed or is present.

Access to the building shall be from the east (rear) of the building on the site. There is no direct door access to the building.

Access to the ground floor shall be through the removal of plywood siding over existing window openings.

Access to the third floor shall be made through removal of a plywood siding over existing window opening.

Access to the attic is by an interior stairway from the third floor or through an existing dormer window on the east roof slope.

Access to the west side is from the sidewalk or street (S Queen St parking lane)

Access to the north gable end wall is from the sidewalk or street (E Vine St parking lane)

The interior is littered with plaster debris that has fallen from ceilings and walls.

There are no utility services available within the building or at the site. Electrical, water, phone, restrooms as may be needed by the contractor during the execution of the work shall be provided by the contractor.

The owner has available some materials that can be used for the stabilization repairs. Slates and red clay brick are stored in the Carriage House on the site.

Special Conditions:

The Owner intends to bid the Work to Masonry Contractors and Roofing Contractors. It is the Owner's intent to authorize the Masonry Contractor as the Lead Contractor of the Work. The Masonry Contractor shall be responsible for coordinating the project schedule and phases of Work between all contractors engaged by the Owner for this Work.

The Owner shall select the Masonry Contractor and Roofing Contractor.

The Owner shall assign the Roofing Contractor as a subcontractor to the Lead Contractor.

Payment of the contractors and subcontractors shall be made by the Owner to the Lead Contractor.

Payment of the subcontractors shall be made by the Lead Contractor to the subcontractors.

The cost of the Lead Contractor's management of the subcontractors shall be limited to a mark-up of xx% of the subcontractor's contract value.

This Work is not intended as an historic restoration. The intent of the Work is to stabilize the existing structure to maintain a level of public safety required by applicable local and state legislation.

The Roofing Contractor shall provide as a unit cost the removal and disposal of existing slate on the east roof slope. **Salvageable slate shall become the property of the Roofing Contractor.**

Contractors shall use lifts to access the Work above the ground. Fixed temporary scaffolds are not allowed.

The Lead Contractor shall obtain the building permit. **The cost of the permit will be paid by the owner directly to the City of Lancaster.**

Scope of Work:

- Item 1: The repair of missing and broken slates on the roof west slope of the existing roof. The intent of this item is to prevent water from entering the building interior.
Any caulks or sealants used shall be compatible with all adjacent materials.
The contractor shall provide the standard one year warrantee for the work.
An allowance to replace one hundred fifty (150) pieces shall be included in the cost.
A per unit cost shall be offered to adjust the cost based on total number (fewer or more) of slates replaced.
- Item 2: Patching the existing rubber sheet on the roof east slope. The intent of this item is to prevent water from entering the building interior.
The contractor shall detect tears, holes, and penetrations that shall be sealed.
Sections of the rubber sheet shall be replaced where needed.
The termination detail of the rubber sheet at the gable parapets shall be repaired. The contractor shall be responsible for developing the termination detail based on the roofing system provided by the contractor. The termination detail shall be coordinated with the existing masonry.
Any caulks or sealants used shall be compatible with all adjacent materials.
The contractor shall provide the standard one year warrantee for the work.
The contractor is not required to provide the roofing manufacturer's warrantee and/or guarantee.
An allowance to patch two hundred square feet (200 sf) shall be included in the cost.
- Item 3: The repair and/or replacement of metal flashing and coping at the gable end parapets. The intent of this item is to prevent water from entering the building interior.
The contractor shall assess the condition of the existing flashing at the gable end rubber sheet termination detail.
The contractor shall assess the condition of the existing metal coping along the entire length of both south and north gable end parapets.
The contractor shall repair or replace the metal flashing and coping as needed with galvanized, factory painted steel sheet, 24 ga material, yield strength minimum 33 ksi.
Any caulks or sealants used shall be compatible with all adjacent materials.
The contractor shall provide the standard one year warrantee for the work.

Item 4: Brick repair and/or re-pointing of the exterior wythes at various locations. The intent is to stabilize the existing brick from falling away and reduce water from entering the building.

The contractor shall remove existing mortar and damaged brick.

The contractor shall replace the damaged or missing brick with face brick available from the Owner. If suitable face brick is not available from the Owner, the contractor shall provide a commonly available face brick of a similar color. The contractor is not required to exactly match the existing brick color.

The contractor shall replace missing mortar as needed with a lime based mortar suitable for historic brick masonry repair.

The contractor shall rout and re-point existing mortar joints as needed using a lime based mortar suitable for historic brick masonry repair.

The repair locations are:

- East face, northeast corner at the eave and south gable end, approximately sixteen square feet (16sf)
- North face, northeast corner at the eave and north gable end, approximately sixteen square feet (16sf)
- West face, northwest corner at the eave and north gable end, approximately eight square feet (8 sf)
- South gable end parapet along the east slope, approximately eight linear feet (8 ft)
- North gable end parapet along the east slope, approximately eight linear feet (8 ft)

The contractor shall provide the standard one year warrantee for the work.

Item 5: (Alternate) The removal and replacement in its entirety the existing rubber sheet roofing at the east slope and dormers. The intent of this item is to prevent water from entering the building interior.

The contractor shall remove and dispose of the existing rubber sheeting, wood batten strips, other existing roofing materials on the dormer side walls.

The contractor shall remove and replace existing 1x wood sheathing determined by the Engineer to be structurally deficient.

The contractor shall propose a rubber roofing system for which the contractor is trained and certified to install by the roofing manufacturer. The contractor is responsible to develop appropriate construction details as required for a complete installation. The details selected by the contractor shall be coordinated with related repair scopes of work as indicated in Items 1 through 4 above. The details selected by the contractor shall be reviewed and approved by the Engineer prior to purchase of materials and installation of the new work.

The termination detail of the rubber sheet at the gable parapets shall be repaired. The contractor shall be responsible for developing the termination detail based on the roofing

system provided by the contractor. The termination detail shall be coordinated with the existing masonry.

Any caulks or sealants used shall be compatible with all adjacent materials.

The contractor shall provide the standard one year warrantee for the work.

The contractor is required to provide the roofing manufacturer's warrantee and/or guarantee.

Item 6: (Alternate) There are locations along the west facade where masonry joint re-pointing was performed. An incorrect mortar was used resulting in subsequent failure of the work performed. The intent of this item is to repair this failed condition.

The contractor shall rout and replace missing mortar as needed with a lime based mortar suitable for historic brick masonry repair.

An allowance to replace one hundred linear of mortar joints shall be included in the cost.

A per unit cost shall be offered to adjust the cost based on total length (fewer or more) of mortar joints routed and replaced.

Item 7: (Alternate) The interior brick wythes at the gable ends has deteriorated to the point of complete failure over approximately forty percent of the gable end wall. The intent of this item is to provide stability to the exterior wythe.

The contractor shall remove the failed interior wythe from the attic floor level to the top of the parapet.

The contractor shall construct wood stud wall back-up in place of the demolished interior wythe. The wall shall consist of 2x8 pressure treated studs spaced at 16" centers. The studs shall bear on the attic floor and shall terminate at/beneath the end rafter. The stud wall shall be blocked at 48" centers vertical. The exterior brick wythe shall be tied to the new stud wall with galvanized corrugated veneer wall ties at a 16" x 24" grid.

An allowance to construct four hundred square feet of new back-up wall shall be included in the cost.



PROPOSAL FOR LIMITED PROFESSIONAL SERVICES

Lancaster County Convention Center Authority	May 16, 2012
25 South Queen Street	Project No.: 02274
Lancaster, PA 17603	Swan Hotel
	Lancaster, PA
Attention: Mr. Kevin Molloy	Page 1 of 3

Project Description:

The LCCA has received notice from the City of Lancaster regarding concerns of the structural integrity of the parapet at the building owned by LCCCA and colloquially referenced as the "Swan Hotel". The Authority wishes to examine the items cited in the notice for structural integrity.

Scope of Engineering Services:

Provide a site visit to examine the condition of the existing items cited in the notice (north and south building parapets, slate roofing), gathering and recording information.

Develop recommendations for repairs to provide structural stability at locations of deterioration, including details suitable for a contractor to perform work.

Compensation:

The Services described above are offered on an hourly basis at the rate of One Hundred Fifteen Dollars per hour (\$115.00/hr), to be invoiced as service progresses. The recommended budget for the scope of engineering services is eight (8) hours, not to exceed the extended amount of Nine Hundred Twenty Dollars and No Cents (\$920.00). Payment on invoices is due forty-five calendar days from the date of the invoice.

Offered By: _____ Owner

Accepted by:	
(signature)	(date)
(printed name/title)	

The terms and conditions attached form part of this agreement. (Please sign and return one copy of this Agreement.)

The proposed compensation includes all support and ancillary costs such as those for taxes and insurances, phone, facsimile and e-mail, mail, postage, and overnight couriers, computer hardware and software, in-house copying and reproduction, travel utilizing the Consultant's vehicle, and overhead and profit.

STANDARD TERMS AND CONDITIONS OF AGREEMENT

STANDARD OF CARE - The Client recognizes that the Engineer's services require decisions which are not based upon pure science, but rather upon judgmental considerations, including economic feasibility of alternate designs. The Engineer shall perform the services in accordance with generally accepted engineering practices for the project and location at that time. Services are rendered without any other warranty, expressed or implied, and the Engineer shall be responsible solely for his own negligence.

CONSTRUCTION COSTS - The Client shall advise the Engineer in writing before design commencement of any budgetary limitations for the overall cost of construction. The Engineer shall endeavor to work within such limitations. The Client acknowledges that neither the Client nor the Engineer has control over the cost of labor, materials, or methods by which the contractors determine prices for construction.

COMPENSATION - Compensation for services shall be in accordance with the method of charging for professional services specified in the Proposal. Invoices for services rendered and expenses to be reimbursed are payable within thirty (30) days of the date of the invoice. Interest of 1-1/2% per month will be charged on accounts not paid within thirty (30) days from the date of invoice. Changes affecting the scope of services initiated by the Client or due to unforeseen project conditions will necessitate modification of the compensation charged.

FAILURE TO MAKE PAYMENT - If the Client fails for any reason to make payment when due the Engineer for services and expenses, the Engineer may, upon three days written notice to the Client, suspend performance of services under this Agreement. Unless payment in full is received by the Engineer within three days of the date of the notice, the suspension shall take effect without further notice. In the event of a suspension of services, the Engineer shall have no liability to the Client for delay or damage caused the Client because of such suspension of services.

RE-USE OF DOCUMENTS - All documents, including Drawings and Specifications, prepared by the Engineer pursuant to this project are instruments of Service. They are not intended or represented to be suitable for re-use by the Client or others on extensions of this project or any other project. Any re-use without written verification or adaptation by the Engineer for the specific purposes intended will be at the Client's sole risk and without liability to the Engineer, and the Client shall indemnify and hold harmless the Engineer from all claims, damages, losses and expenses, including attorneys' fees, arising out of or resulting therefrom. Any such verification or adaptation will entitle the Engineer to further compensation at rates to be agreed upon by the Client and the Engineer.

ALTERATIONS TO EXISTING STRUCTURES - Inasmuch as the remodeling and/or rehabilitation of an existing building requires that certain assumptions be made regarding existing conditions, and because some of these assumptions cannot be verified without expending large sums of additional money, or destroying otherwise adequate or serviceable portions of the building, the Client agrees that, except for negligence on the part of the Engineer, the Client will hold harmless and indemnify the Engineer for and against any and all claims, damages, awards and costs of defense arising out of the professional services provided under this document.

HAZARDOUS MATERIALS - The Engineer and Engineer's consultants shall have no responsibility for the discovery, presence, handling, removal or disposal of or exposure of persons to hazardous materials in any form at the Project site, including but not limited to asbestos, asbestos products, polychlorinated biphenyl (PCB) or other toxic substances.

TERMINATION - The obligation to provide further services under this document may be terminated by either party upon three days written notice in the event of substantial failure by the other party to perform in accordance with the terms hereof through no fault of the terminating party. In the event of any termination, the Engineer shall be paid for all services to the date of termination, all reimbursable expenses and termination expenses.

SUCCESSORS AND ASSIGNS - The Client and the Engineer each binds himself and his partners, successors, executors, administrators, assigns and legal representatives to the other party and to the partners, successors, executors, administrators, assigns and legal representatives of other such party in respect to all covenant, agreements and obligations of this document. Neither the Client nor the Engineer shall assign, sublet or transfer any rights under or interest in (including, but without limitation, moneys that are or may become due) this document without the written consent of the other, except to the extent that the effect of this limitation may be restricted by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under this document. Nothing contained in this paragraph shall prevent the Engineer from employing such independent consultants, associates and subcontractors as it may deem appropriate to assist in the performance of services hereunder.

RISK ALLOCATION – In recognition of the relative risks, rewards and benefits of the project to both the Client and the Engineer, the risks have been allocated such that the Client agrees that, to the fullest extent permitted by law, the Engineer's total liability to the Client for any and all injuries, claims, losses, expenses, damages or claim expenses arising out of this agreement from any cause or causes, shall not exceed \$25,000 or eight (8) times the total fee for services rendered on this project, whichever is greater. Such causes include, but are not limited to the Engineer's negligence, errors, omissions, strict liability, breach of contract or breach of warranty.

APPLICABLE LAWS - The laws of the State of Pennsylvania shall apply to the provision of Services under this proposal. Any legal action brought forth by the Client and his partners, successors, executors, administrators, assigns and legal representatives shall be done so in the State of Pennsylvania. Any legal action brought forth by the Engineer shall be done so at the jurisdiction of the location of the project or the State of Pennsylvania at the sole discretion of the Engineer. The Engineer shall make reasonable effort to comply with local, state, and federal laws, regulations, and ordinances in force at the time this proposal is signed and that are directly related to the provision of these Services under this proposal.

STRUCTURAL CALCULATIONS - Structural calculations are not instruments of Service and may or may not be prepared by the Engineer in order to provide the Services under this proposal. The need to provide structural calculations in order to provide the Services under this proposal shall be at the sole discretion of the Engineer. Structural calculations shall be provided only when the provision of structural calculations are required specifically by the terms of the Services under this proposal, when required by specific legislation of the local project jurisdiction, and at the sole discretion of the Engineer.

Nothing herein shall be construed to give any rights or benefits hereunder to anyone other than the Client and the Engineer.



Robert R. Desmarais Jr., PE 1410 Newton Road, Lancaster, PA 17603
Ph: 717.381.1840 Fax: 267.207.2164 Email: bobdesmarais@comcast.net

October 15, 2012

Mr. Kevin Molloy
Lancaster County Convention Center Authority
25 South Queen Street
Lancaster, PA 17603

Subject: Swan Hotel Exterior Wall Assessment
Project No: 02235

Mr. Molloy,

This report is written to record the exterior conditions of the property referred to by the Lancaster City community as the "Swan Hotel". The report is written to address concerns regarding the brick that is visibly deteriorated at the eaves of the structure.

A site visit has been made to visually examine and record the elements of the subject structure. Based on this site visit, it is recommended that the bricks in the walls at the eaves of the following locations be replaced and/or repointed:

Southeast corner at the south face

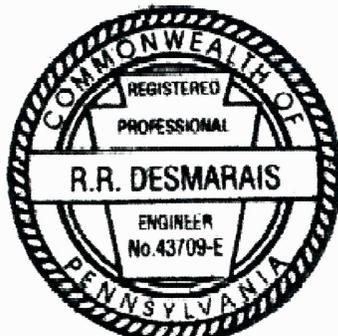
Northwest corner at the west face

It is also recommended to caulk the crack the extends the height of the wall at the southeast corner, intersection of the walls on the east face.

Finally, it is recommended to repair the existing flashing and roofing as required to maintain weather-tight integrity in order to prevent additional deterioration to the structure.

Sincerely,

Robert R. Desmarais Jr., PE



 2012.10.15
04:58:54 -04'00'



Robert R. Desmarais Jr., PE 1410 Newton Road, Lancaster, PA 17603
Ph: 717.381.1840 Fax: 267.207.2164 Email: bobdesmarais@comcast.net

November 29, 2012

Mr. Kevin Molloy
Lancaster County Convention Center Authority
25 South Queen Street
Lancaster, PA 17603

Subject: Swan Hotel Exterior Wall Assessment
Project No: 02274

Mr. Molloy,

This report is written to record the exterior and partial interior conditions of the property referred to by the Lancaster City community as the "Swan Hotel". The report is written to address concerns regarding the brick that is visibly deteriorated at the eaves of the structure.

A site visit has been made to visually examine and record the elements of the subject structure. Photographs of the interior at the attic space and of the east exterior wall have been taken and are provided separately.

The condition of the exterior brick is in relatively acceptable condition, with the exception of brick at the two locations cited below. I recommend that the bricks in the walls at the eaves of the following locations be replaced and/or repointed:

- Southeast corner at the south face
- Northeast corner at north and east face
- Northwest corner at the west face

There is a continuous vertical crack at the east wall, at the intersection with the south wall. This crack should be cleaned of debris, repaired with mortar, and caulked as needed where grout cannot be successfully replaced. The south wall is parallel to the floor framing, with no apparent tie to the floor framing. This wall should be tied to the floor joists with bolts to prevent further separation of the corner.

The condition of the bricks at the interior of the attic space are more deteriorated than is implied from an examination of the exterior. This common brick has been exposed to water from gaps and leaks in the roof framing, roof sheathing and roofing materials. I recommend this interior wythe be repaired by replacing brick with more than 25% section loss and repairing the mortar joints.

Finally, it is recommended to repair the existing flashing and roofing as required to maintain weather-tight integrity in order to prevent additional deterioration to the structure.

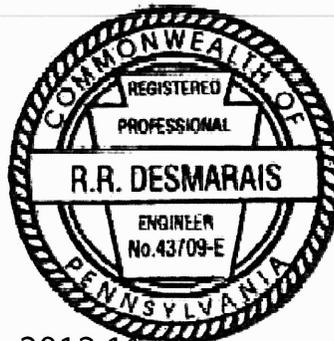
I recommend the priority of work be the repair of the damaged brick and missing mortar at the three locations cited above and patching of the existing roofing membrane.

The placement option of the entire roof is my preferred recommendation, however patching will provide suitable stabilization for the near term.

Sincerely,



Robert R. Desmarais Jr., PE



2012.11.29
16:26:15 -05'00'



Robert R. Desmarais Jr., PE 1410 Newton Road, Lancaster, PA 17603
Ph: 717.381.1840 Fax: 267.207.2164 Email: bobdesmarais@comcast.net

May 26, 2015

Mr. Kevin Molloy
Lancaster County Convention Center Authority
25 South Queen Street
Lancaster, PA 17603

Subject: Swan Hotel Exterior Wall Assessment
Project No: 02274

Mr. Molloy,

This report is written to record my observations and recommendations for the south exterior wall of the property referred to by the Lancaster City community as the "Swan Hotel". The report is written to address concerns regarding the wall stability.

The south wall is not a bearing wall along the entire length. There are discreet locations where floor beams bear on the wall, however the majority of the wall is structurally independent from the floor and roof framing. The floor joists are parallel to the wall and are not currently, nor originally were they, tied to the wall.

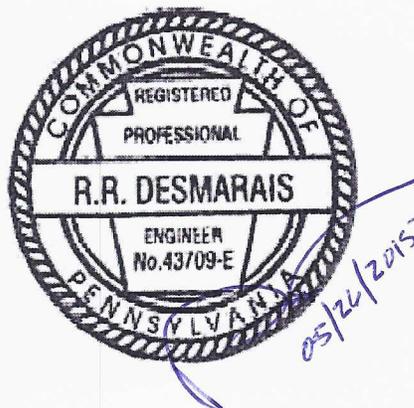
The condition of the exterior brick is in relatively acceptable condition, with the exception of the brick at the southeast corner. The wall is approximately thirty feet high, extending from grade to the third floor ceiling line, and to the roof eave/parapet. The wall is out of plumb approximately two inches over the height. The wall is essentially bowed to the south between the ground floor and third floor ceiling.

This southeast corner joint will be repaired with replacement and re-bonding to the east wall by running bond coursing, as has been previously recommended.

I do not recommend attempting to force the wall back to plumb. The wall is currently stable and can remain so by tying it into the second and third floor framing levels. I have attached a sketch with a tie system that should be placed at the southeast corner and at least two more locations to the west. The corner tie can be within two feet of the corner, the remaining two locations shall be at no more than six feet centers.

Sincerely,

Robert R. Desmarais Jr., PE





Robert R. Desmarais, Jr., PE
 313 West Liberty Street, Suite 101
 Lancaster, PA 17603
 717-617-2725 • bob@rrdpe.com

Project No: 02274

Client: LCCA

Project Name: SWAN HOTEL

Page:

SIZE STRAPS AT SOUTH EXTERIOR WALL

8" BRICK MASONRY, NON-LOAD BEARING, 30' HIGH, 2" ECCENTRICITY
 $P = 30' (90 \text{ PLF}) = 2700 \text{ PLF}$ $P_A = 2700 (2") / 12 = 450 \text{ FT. LBS}$
 $W_D = 400 / 30' = 13.33 \text{ PLF}$ $R_{SD} = 13.33 (10') 1.10 = 147 \text{ PLF}$

HINT #170 $1/2" \phi$ EMBEDDED $3/8"$ $T_A = 920 \text{ LBS}$

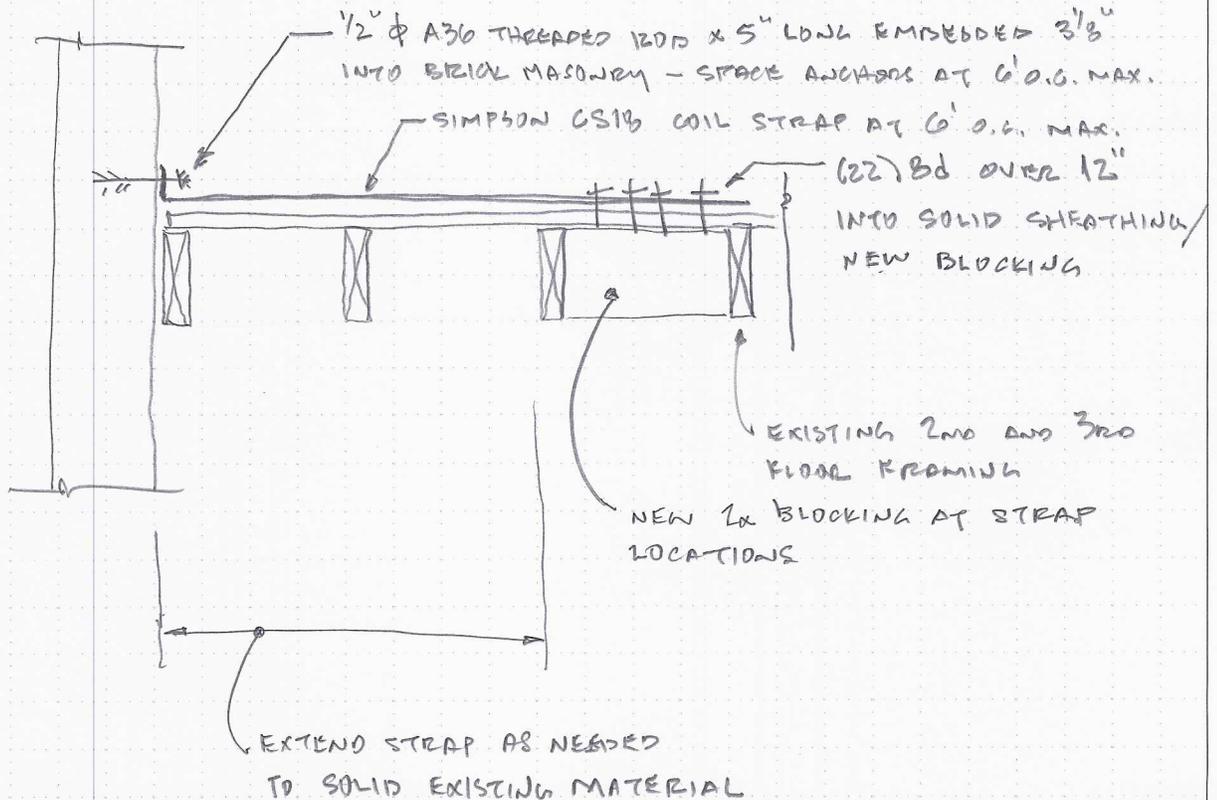
SPACE ANCHORS = $920 / 147 = 6.25' \rightarrow 6' \text{ O.C. MAX}$

SIMPSON STRAP CS20 $T_A = 1070 / 1.6 = 669$

SPACE STRAPS = $669 / 147 = 4.55' \rightarrow 4' \text{ O.C. MAX.}$

CS10 = $T_A = 1370 / 1.6 = 856$

SPACE STRAPS = $856 / 147 = 5.82' \rightarrow 6' \text{ O.C. MAX.}$





Robert R. Desmarais Jr., PE 1410 Newton Road, Lancaster, PA 17603
Ph: 717.381.1840 Fax: 267.207.2164 Email: bobdesmarais@comcast.net

May 26, 2015

Mr. Kevin Molloy
Lancaster County Convention Center Authority
25 South Queen Street
Lancaster, PA 17603

Subject: Swan Hotel Exterior Wall Assessment
Project No: 02274

Mr. Molloy,

This report is written to record my observations and recommendations for the west and north exterior walls of the property referred to by the Lancaster City community as the "Swan Hotel". The report is written to address concerns regarding the wall veneer stability.

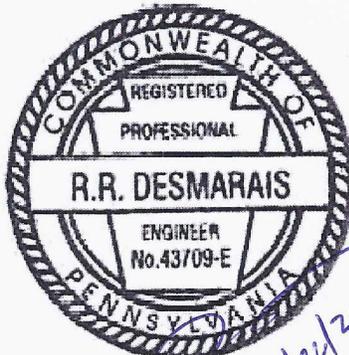
The existing west wall consists of twelve inch nominal (three wythe) red brick masonry from grade to the roof eave. At some point in time, an application of cement stucco hand-formed to appear like cut ashlar limestone masonry was applied from the ground level to the second floor level. The north wall is similar in construction and in having the stucco application.

Subsequently, in a cosmetic renovation done even later, a brick wainscot veneer, wood plank siding, and a wood framed pent roof was added to cover the stucco application. The wainscot is supported by a steel ledger angle anchored through the stucco application and into the original brick masonry wall. The wainscot was also tied to the brick veneer with strap ties. The ledger angle supporting the brick wainscot is unpainted and not galvanized. The angle and anchors are failing due to rust. The brick wainscot is unstable and can easily be moved by hand, and possibly could be pulled by hand away from the wall construction.

It is my opinion the brick wainscot veneer should be removed, along with the wood plank siding and pent roof, in order to avoid a sudden failure of the assembly onto the sidewalk.

Sincerely,

Robert R. Desmarais Jr., PE



3/24/2015



Robert R. Desmarais Jr., PE 1410 Newton Road, Lancaster, PA 17603
Ph: 717.381.1840 Fax: 267.207.2164 Email: bobdesmarais@comcast.net

May 26, 2015

Mr. Kevin Molloy
Lancaster County Convention Center Authority
25 South Queen Street
Lancaster, PA 17603

Subject: Swan Hotel Exterior Wall Assessment
Project No: 02274

Mr. Molloy,

This report is written to record my observations and recommendations for the south exterior wall of the property referred to by the Lancaster City community as the "Swan Hotel". The report is written to address concerns regarding the wall stability.

The south wall is not a bearing wall along the entire length. There are discreet locations where floor beams bear on the wall, however the majority of the wall is structurally independent from the floor and roof framing. The floor joists are parallel to the wall and are not currently, nor originally were they, tied to the wall.

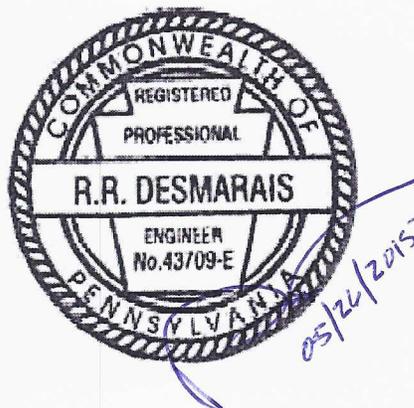
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This southeast corner joint will be repaired with replacement and re-bonding to the east wall by running bond coursing, as has been previously recommended.

I do not recommend attempting to force the wall back to plumb. The wall is currently stable and can remain so by tying it into the second and third floor framing levels. I have attached a sketch with a tie system that should be placed at the southeast corner and at least two more locations to the west. The corner tie can be within two feet of the corner, the remaining two locations shall be at no more than six feet centers.

Sincerely,

Robert R. Desmarais Jr., PE





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 313 West Liberty Street, Suite 101
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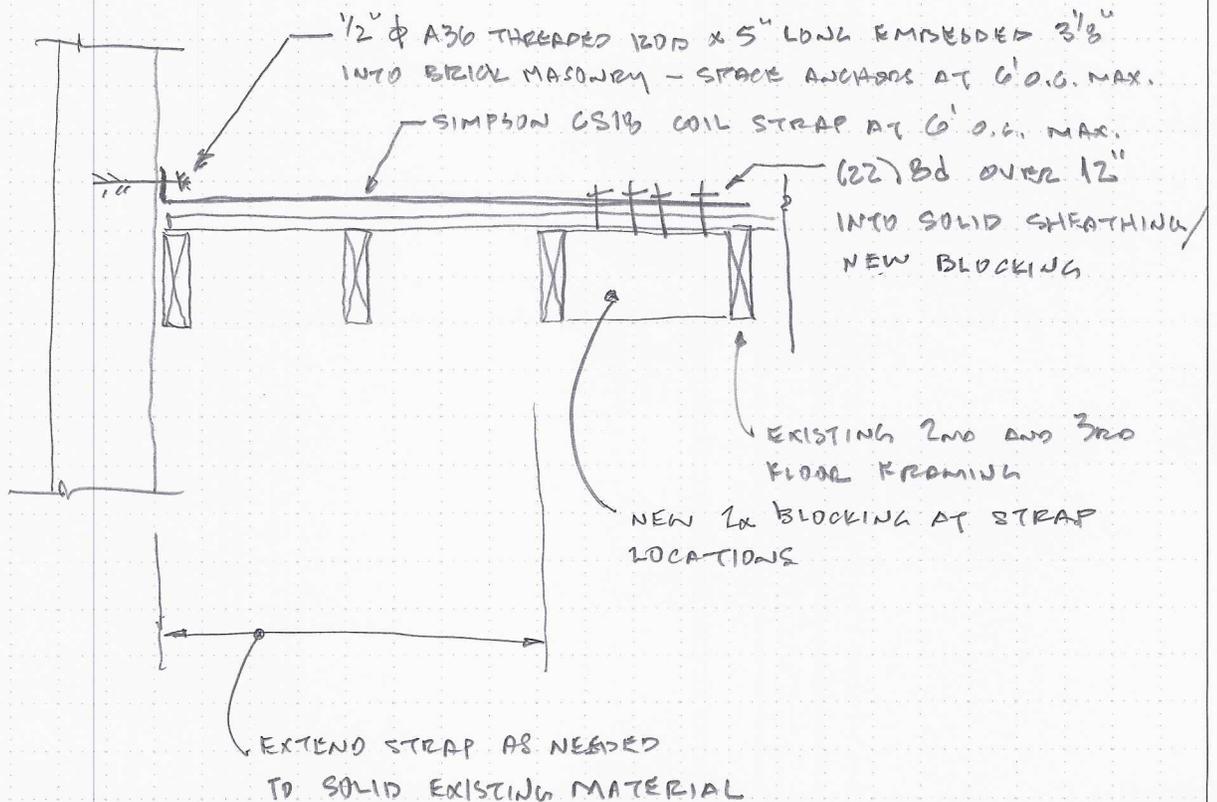
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SIMPSON STRAP CS20 $T_A = 1030 / 1.6 = 644$

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May 26, 2015

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Subject: Swan Hotel Exterior Wall Assessment
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Mr. Molloy,

This report is written to record my observations and recommendations for the west and north exterior walls of the property referred to by the Lancaster City community as the "Swan Hotel". The report is written to address concerns regarding the wall veneer stability.

The existing west wall consists of twelve inch nominal (three wythe) red brick masonry from grade to the roof eave. At some point in time, an application of cement stucco hand-formed to appear like cut ashlar limestone masonry was applied from the ground level to the second floor level. The north wall is similar in construction and in having the stucco application.

Subsequently, in a cosmetic renovation done even later, a brick wainscot veneer, wood plank siding, and a wood framed pent roof was added to cover the stucco application. The wainscot is supported by a steel ledger angle anchored through the stucco application and into the original brick masonry wall. The wainscot was also tied to the brick veneer with strap ties. The ledger angle supporting the brick wainscot is unpainted and not galvanized. The angle and anchors are failing due to rust. The brick wainscot is unstable and can easily be moved by hand, and possibly could be pulled by hand away from the wall construction.

It is my opinion the brick wainscot veneer should be removed, along with the wood plank siding and pent roof, in order to avoid a sudden failure of the assembly onto the sidewalk.

Sincerely,

Robert R. Desmarais Jr., PE



3/24/2015

August 11, 2017

Mr. Kevin Molloy
Lancaster County Convention Center Authority
25 South Queen Street
Lancaster, PA 17603

Subject: Swan Hotel Conditions Assessment
Project No: 02274

Mr. Molloy,

This report is written to record the exterior and partial interior conditions of the property referred to by the Lancaster City community as the "Swan Hotel". This report is an update to the conditions reports of October 10, 2012, November 11, 2012, and May 26, 2015.

A site visit has been made on August 1, 2017 to visually examine the elements of the subject structure. It is my opinion the structure is stable.

Various repairs were made between 2013 and 2015 to stabilize the structure. The roofing has been replaced, the parapets have been stabilized and returned to a similar original condition, and interior floor framing repairs have been made. It is my opinion these efforts have successfully provided for continued preservation of the structure.

It is my understanding that additional maintenance of the basement access header and sidewalk bulkhead (Vine Street facade) are being taken that will further the preservation of this asset.

Sincerely,



Robert R. Desmarais Jr., PE

