

Request for Proposal (RFP)  
Public Sale and Redevelopment of Historic Swan Hotel



## Request for Proposal (RFP) 2.9.2024

Public Sale and Redevelopment of  
Historic Swan Hotel (101 South Queen Street) Property

Downtown Lancaster, Pennsylvania



Release Date: February 9, 2024

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## Section 1 - Overview of Public Sale/Redevelopment Opportunity

### 1.01 Development Sites for Public Sale/Redevelopment

- Historic Swan Hotel, 101 South Queen Street (Parcel ID # 333-30637-0-0000)



Map of the sites for public sale/redevelopment at 101 South Queen Street (Historic Swan Hotel), Also shown are key facilities/amenities surrounding the sites at this key gateway into Downtown Lancaster at South Queen and Vine Streets.

### 1.02 Public Sale & Redevelopment Opportunity

Lancaster County Convention Center Authority (LCCCA), as property owner, is seeking to publicly sell the Historic Swan Hotel at 101 South Queen Street  
Section 1.03 “Public Sale/Redevelopment Priorities and Preferred Outcomes” on page 4.

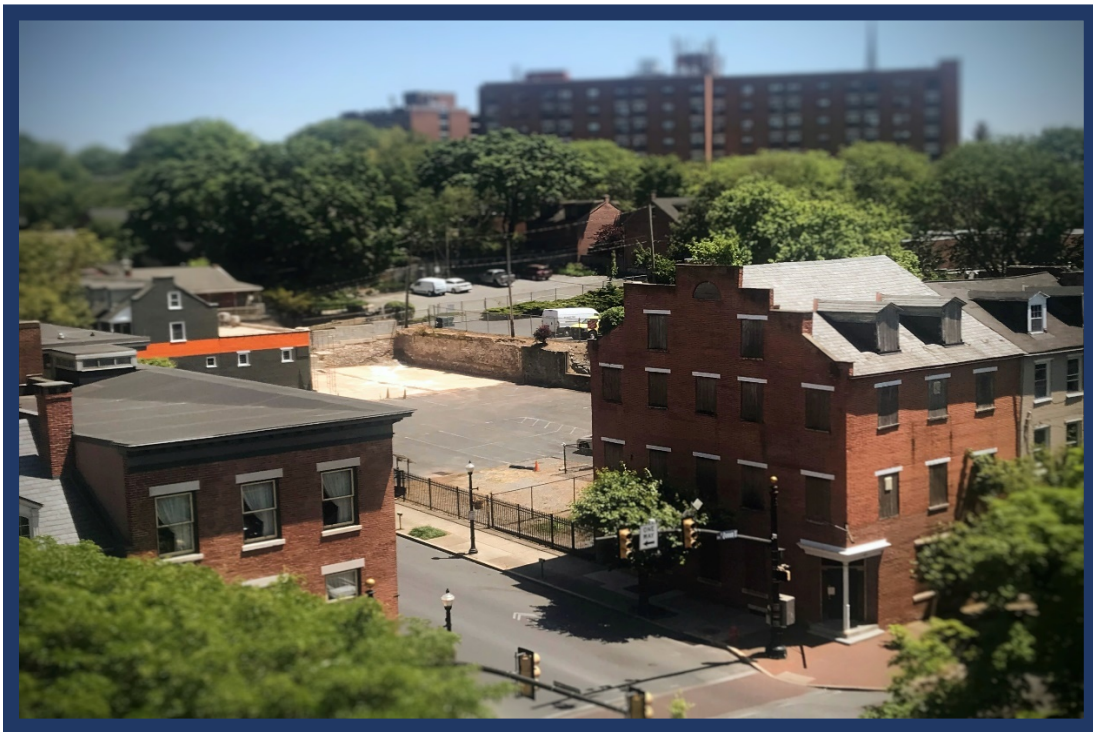
The LCCCA is seeking a developer with experience in urban real estate development to provide a Request for Proposal including qualifications for the redevelopment of the aforementioned property at the key intersection of Queen & Vine Streets in Downtown Lancaster, Pennsylvania.



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1.03 Public Sale/Redevelopment Priorities and Preferred Outcomes

- a. Redevelopment of 101 South Queen Street (Historic Swan Hotel) will incorporate the following to advance the implementation of the following recommendations of Convention, Sports & Leisure's [\*Lancaster Convention District Futures Study \(April 2023\)\*](#):
- Lodging
  - Dining / entertainment
  - Adaptive reuse of the Historic Swan Hotel and restoration of its historical façade in accordance with the Secretary of the Interior's Standards for Historic Preservation (required)
  - Pedestrian experience enhancements/streetscape activation along South Queen Street and East Vine Street property frontages (to include, but not be limited, to ground-floor commercial (i.e., restaurant/bar) in the Historic Swan Hotel.
  - Redevelopment may include additional complementary use(s) as deemed appropriate (and as permitted in accordance with the Zoning Code) in combination with desired hotel rooms, restaurant(s)/bar(s).



View from Queen and Vine Streets (facing southeast) of the Historic Swan Hotel property at 101 South Queen Street (Brick structure on right)

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## 1.04 Vision

Located at the southern edge of the city of Lancaster's vibrant Central Business District and across the street from the nearly fifteen-year-old Lancaster County Convention Center and Marriott Hotel at Penn Square, the site at 101 South Queen Street (the Historic Swan Hotel), provides a unique opportunity for a redevelopment to support and expand our growing city core, augment the growth of and sustain the Convention Center as a public facility and vital economic driver by developing additional amenities surrounding it, all the while connecting growth opportunities to the southern half of the city.

Lancaster City, while rich in architectural heritage, has of late welcomed new and innovative ideas for development and urban design as the City continues to grow and evolve. This is evident in various redevelopment and historic preservation projects at Queen & Vine Streets dating back to 2009, from the development of the Lancaster County Convention Center and Marriott Hotel facilities, combining the preserved historic facade of the signature Watt & Shand Department Store and the restoration of Thaddeus Stevens' home and law office and Kleiss Tavern with the contemporary Convention Center's architecture; to the adaptive reuse and preservation of the historic Farmer's Southern Market at 100 South Queen Street into a modern food hall, restaurateur-incubator, coworking space, and offices; to the 21<sup>st</sup>-century steel and glass design of Willow Valley Communities' planned mixed-use tower Mosaic at 32 West Vine Street, soon to become the tallest building in Lancaster County.

Together, in continuing this trend at this key gateway into Downtown Lancaster from the south, the public sale and redevelopment of the site at 101 South Queen Street, an adaptive reuse opportunity in the Swan Hotel, a significant historic property, in a very dense urban environment.



Rendering of the planned mixed-use Mosaic tower by Willow Valley Communities, as envisioned to be seen looking west toward the intersection of Queen & Vine Streets, from the Lancaster County Convention Center's frontage on East Vine Street.

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## 1.05 Property Information



The currently vacant Historic Swan Hotel, located at 101 S. Queen St. on the southeast corner of Queen and Vine Streets, constructed in 1824.

### 101 South Queen Street (Historic Swan Hotel)

Year Built:	1824
Building Footprint:	1,610 SF
Building Total SF:	6,000 SF
	Basement – 1,610 SF
	1 <sup>st</sup> – 1,610 SF
	2 <sup>nd</sup> – 1,610 SF
	3 <sup>rd</sup> – 1,200 SF (approx.)

Acres: 0.05

Current Uses: Vacant

For general dimensions of the Swan Hotel building's footprint as provided by the Lancaster County Property Assessment Office, see here: <https://www.lccca.com/wp-content/uploads/2022/05/Swan-Hotel-Dimensions.pdf>

**Property History:** Located directly across the street from the nearly 15-year-old Lancaster County Convention Center and beautifully restored facades of Thaddeus Stevens' and Lydia Hamilton's homes, the Swan Hotel was constructed for use as a private hospital and tavern in 1824 by Dr. Clarkson Freeman who lived next door at 105 South Queen Street. By the 1840s, the individual rooms made for an easy conversion of the building into a hotel and tavern. It remained in use as a bar until 1995. The



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building has been vacant since then while awaiting the right redevelopment opportunity to complement the Convention Center (completed in 2009) and surrounding redevelopment projects.

The first floor of a restored Swan Hotel has long been envisioned as a restaurant, with the upper floors being lodging. That does not preclude other uses that have synergies with the Convention Center to be contemplated.



The Historic Swan Hotel, 101 S. Queen St., as shown in a sketch from 1881. This sketch illustrates the original architectural characteristics which were altered circa 1890.



The Historic Swan Hotel, 101 S. Queen St., as shown in photograph circa 1890-1900, following some alterations to the building's entrances and original fenestration (window) styles.

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## 1.06 Planning & Redevelopment Considerations

### Subdivision and Land Development Process

The Bureau of Planning in the Department of Community Planning & Economic Development oversees the Subdivision and Land Development process for the City of Lancaster. The major purposes of subdivision and land development regulations are to provide adequate sites for development and public use, to maintain reasonable and acceptable design standards, and to coordinate public improvements with private development interest.

See here for a flow chart illustrative of the City of Lancaster's Subdivision and Land Development process: <https://www.cityoflanasterpa.gov/wp-content/uploads/2022/12/Flow-Chart-3-31-22-DRAFT.png>

Further information related to the City of Lancaster's land development process, please contact Douglas Smith, Chief Planner, Bureau of Planning, Land Development & City Design Division, at [dsmith@cityoflanasterpa.gov](mailto:dsmith@cityoflanasterpa.gov) or 717-291-4755.



Bird's eye view of the intersection of Queen & Vine Streets (at foreground), view looking south on South Queen Street. Historic Swan Hotel (left) and historic Farmer's Southern Market (now Southern Market food hall) (right) in foreground along Vine Street.



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## Zoning: Permitted Uses and Height, Area, and Bulk Regulations

The Historic Swan Hotel is located in the *CB1 – Central Business Core* zoning district, as defined in the Lancaster City [Zoning Code](#).

- See here for the Table of Permitted Uses: <https://ecode360.com/attachment/LA1674/LA1674-300b%20Table%20of%20Permitted%20Uses.pdf>
- See here for the Table of Height, Area and Bulk Regulations: <https://ecode360.com/attachment/LA1674/LA1674-300c%20Table%20of%20Height%20Area%20and%20Bulk%20Regs.pdf>

For additional information and/or questions related to zoning considerations, please contact the City of Lancaster's Zoning Officer, Jameel Thrash, at [JaThrash@cityoflancasterpa.gov](mailto:JaThrash@cityoflancasterpa.gov) or 717-291-4736.

## Heritage Conservation District

The Historic Swan Hotel is located within the City of Lancaster's [Heritage Conservation District](#) which is a special zoning overlay district that aligns with the Lancaster City Historic District, listed in the National Register of Historic Places. The Heritage Conservation District ordinance requires review and approval of any proposed new construction, building additions, and/or demolition by the Lancaster Historical Commission to ensure design is complementary to the appearance and character of the streetscape.

For more information about the Heritage Conservation District, and the implications it may have for conceptual development, please contact the City's Historic Preservation Specialist, Suzanne Stallings, at [SStallin@cityoflancasterpa.gov](mailto:SStallin@cityoflancasterpa.gov) or 717-291-4726.

## Downtown Investment District

The Historic Swan Hotel is located within the boundaries of the City of Lancaster's [Downtown Investment District \(DID\)](#), a business improvement district established in 1992. The primary goal of the Downtown Investment District is to support the revitalization, development, and maintenance of the downtown area, making it more attractive and economically viable for businesses, residents, and visitors. Property owners in the DID pay an assessment in addition to City of Lancaster, School District of Lancaster, and County of Lancaster property taxes. The assessment funds enhanced services included cleaning and maintenance of public spaces, security, beautification, business assistance, and marketing/event support.

For more information about the Downtown Investment District, please contact David Aichele, Executive Director of the Lancaster Downtown Investment Authority, (c/o Lancaster City Alliance) at [daichele@teamlanc.org](mailto:daichele@teamlanc.org) or 717-696-6202.

## 1.07 Potential Financing Resources & Incentives

Among other potential resources such as New Markets Tax Credits, the properties at 101 South Queen Street, is located within the following special districts :

- **City Revitalization & Improvement Zone (CRIZ)**

The [Lancaster City Revitalization and Improvement Zone \(CRIZ\)](#) Authority provides grants, loans, and annual debt service assistance to support small business growth and the development of vacant/underutilized properties in the designated CRIZ district, supporting real estate acquisition, site preparation and infrastructure, real estate development soft costs (ex: architectural design, engineering, surveys, legal fees), new construction, facade improvements, interior renovations (including leasehold improvements), and new furniture, fixtures, and equipment.

The CRIZ Small Business Financial Assistance (SBFA) Program provides grants of up to \$25,000 and low-interest/fixed-interest loans of up to \$100,000 for operating small businesses in the Zone, for the eligible uses of funding as listed above.

To learn more about the financial assistance tools of the CRIZ Program, please contact the Lancaster CRIZ Authority (c/o Lancaster City Alliance), at [info@teamlanc.org](mailto:info@teamlanc.org) or 717-394-0783 and/or visit: <https://lancastercityalliance.org/criz/>

- **Local Economic Revitalization Tax Assistance (LERTA) District**

The [Local Economic Revitalization Tax Assistance \(LERTA\)](#) program provides abatements of City of Lancaster, School District of Lancaster, and County of Lancaster property taxes on the value of improvements for qualifying projects on a sliding scale for a period of up to seven years.

Additional information on the potential financing benefits of this program can be obtained by contacting Chris Delfs, Director of the Department of Community Planning and Economic Development, at [cdelfs@cityoflancasterpa.gov](mailto:cdelfs@cityoflancasterpa.gov) or 717-291-4759.

## Historic Preservation Tax Incentives

- **Federal Rehabilitation Investment Tax Credit Program**

The Historic Swan Hotel at 101 S. Queen Street, as a contributing resource to the Lancaster City National Historic District, listed in the National Register of Historic Places, may qualify for the [Federal Rehabilitation Investment Tax Credit](#) ("Federal Historic Tax Credit"), which encourages private sector investment in the rehabilitation and reuse of historic buildings. The Program provides a 20% federal tax credit for income-producing properties (including commercial and rental residential). The State Historic Preservation Office (SHPO) of the

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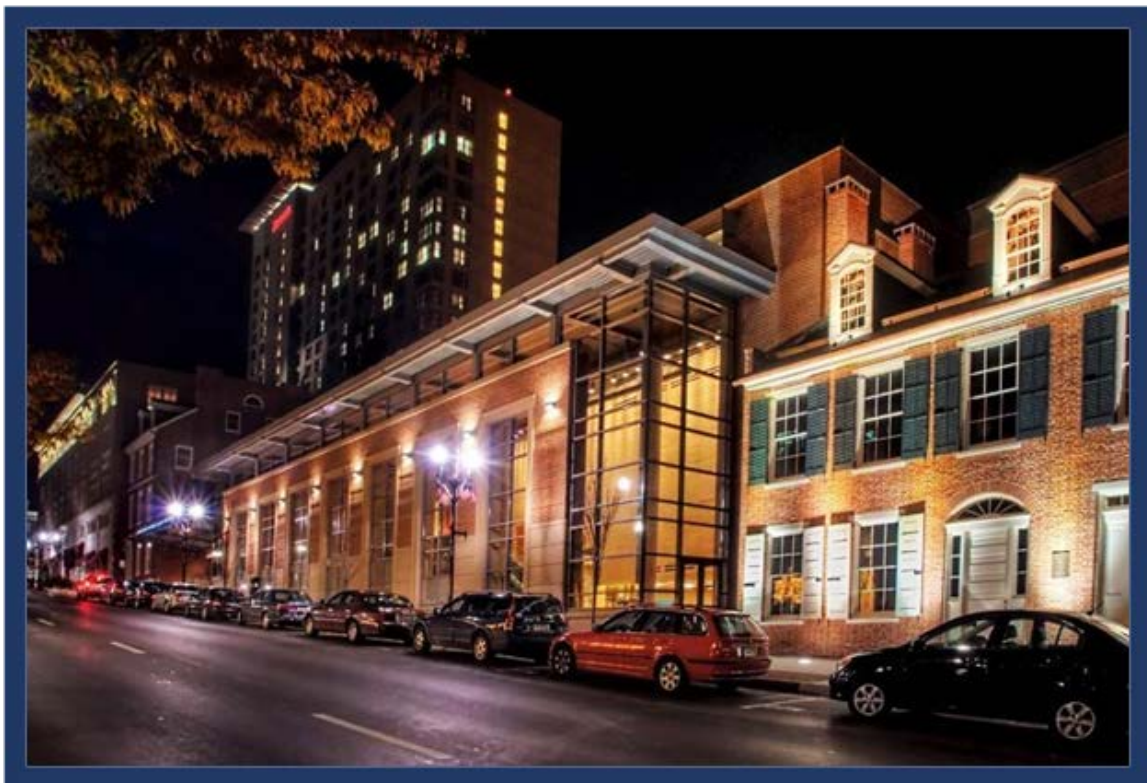
Pennsylvania Historical and Museum Commission (PHMC) and the National Park Service of the U.S. Department of the Interior review and approve Federal Historic Tax Credit projects.

To learn more, contact Shelby Splain, Preservation Incentives Division Manager (Acting), PA SHPO, [ssplain@pa.gov](mailto:ssplain@pa.gov) or 717-787-0772.

▪ **Pennsylvania Historic Preservation Incentive Tax Credit Program**

As a contributing resource to the Lancaster City National Historic District, listed in the National Register of Historic Places, the Historic Swan Hotel may qualify for the [Pennsylvania Historic Preservation Incentive Tax Credit](#) ("State Historic Tax Credit"), which provides a 25% state tax credit to qualified taxpayers who will be completing the restoration of a qualified historic structure into an income producing property. An additional 5% tax credit (for a total of 30% credit) is provided for approved projects that include workforce housing units. The State Historic Preservation Office (SHPO) of the Pennsylvania Historical and Museum Commission (PHMC) and the Pennsylvania Department of Community & Economic Development (PA DCED) review and approve Federal Historic Tax Credit projects.

To learn more, contact Shelby Splain, Preservation Incentives Division Manager (Acting), PA SHPO, [ssplain@pa.gov](mailto:ssplain@pa.gov) or 717-787-0772.



The Lancaster County Convention Center, 25 S. Queen St., as seen at night with the Marriott Lancaster at Penn Square Hotel tower in the background, and the historical home and law office of abolitionist U.S. Congressman Thaddeus Stevens (at right), soon to be home to the planned national attraction The Thaddeus Stevens & Lydia Hamilton Smith Center for History and Democracy, set to open in 2025.



## Section II – Context & Background

### 2.01 Intersection of South Queen & Vine Streets: A Key Gateway to Downtown Lancaster and an Epicenter of the City's Revitalization

The intersection of South Queen Street and Vine Street provides for a great opportunity to bridge the gap between the Downtown Core and the southern half of Lancaster City. Queen Street serves as the main north-traveling corridor through the City and thus is the gateway into Downtown. Since 2009, development of the properties at Queen & Vine has resulted in more than \$140 million of new investment completed – and another \$120 million is under development. The following provides background on some of these catalytic investments in this key area of Downtown Lancaster.

The northeast corner of the intersection of Queen and Vine Streets is anchored by the Lancaster County Convention Center and Lancaster Marriott Hotel at Penn Square. Opened in 2009, this convention center boasts 94,000 SF of meeting space and a 416-room flagship hotel.



The Lancaster County Convention Center and flagship Marriott Hotel, 25 S. Queen St., as seen from the southeast corner of Penn Square at the city's center, just 500 feet from the Historic Swan Hotel and the intersection of South Queen and Vine Streets. The newly added Marriott Hotel East Tower, completed in 2018, is visible at left.

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**The Thaddeus Stevens & Lydia Hamilton Smith Center for History & Democracy**  
45-49 South Queen Street

Sharing the northeast corner with the Lancaster County Convention Center facilities is the former home and law office of 19<sup>th</sup>-century abolitionist Lancaster Congressman Thaddeus Stevens, and his Kleiss Tavern. The facades of Stevens' properties have been beautifully restored as well as over 100,000 compelling pieces of archeological evidence unearthed, with many pointing to possible Underground Railroad activity. Under the direction of LancasterHistory, the Thaddeus Stevens & Lydia Hamilton Smith Center for History and Democracy is anticipating a 2025 Grand Opening.

The key elements of the project will be the restoration of key parts of the interiors of Congressman Stevens' home and law office; the development of interpretive galleries exploring the Underground Railroad in Central Pennsylvania; and the construction of exhibitions illuminating Stevens' role in amending the U.S. Constitution and an examination of Lydia Hamilton Smith's path-breaking life and twenty-year partnership with Stevens. LancasterHistory has awarded an exhibition design contract to Ralph Appelbaum Associates, a firm responsible for internationally acclaimed museums and interpretive centers including the Smithsonian National Museum of African American History and Culture, and the Holocaust Museum, both in Washington, DC, and the planned Barack Obama Presidential Center & Museum in Chicago. The project upon completion is expected to have a considerable economic impact in Downtown Lancaster as it is anticipated to put Lancaster yet again on the national map.



The restored historical home and law office of 19<sup>th</sup>-century abolitionist Congressman Thaddeus Stevens (left) and his Kleiss Tavern property (right) at 45-49 S. Queen St. The Historic Swan Hotel at 101 S. Queen St., across Vine Street, is visible at far right.



A rendering of exhibits at the planned Thaddeus Stevens & Lydia Hamilton Smith Center for History and Democracy at 45-49 S. Queen St., anticipated to become a national destination.

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**Southern Market Food Hall**  
100 S. Queen Street

The redevelopment of the historic Farmer's Southern Market is a catalyst of community connection, economic growth, and urban revitalization at the southwest corner of Queen & Vine Streets, connecting the Downtown core with the southern half of the city. Opened in January 2022, Southern Market's first-floor food hall encompasses 7,500 square feet, with seating for 250. In the middle is Bar 1888, a 30-seat bar operated by Willow Valley Communities, with award-winning mixologists at the helm. Southern Market also features a coffee shop, coworking desks and offices, meeting spaces, retail, and community rooms. For locals and visitors alike, Southern Market has become one of Lancaster's new favorite place to eat, work, and gather — an exciting destination for culture and collaboration.

To learn more, visit: <https://www.southernmarketlancaster.com/>



The historic Farmer's Southern Market food hall at 100 S. Queen St.



Crowds gather at the newly opened Southern Market food hall, 100 S. Queen Street. The historic farmer's market was adaptively reused and offers global cuisine from a variety of restaurateur-startup stand holders set up around a central bar, Bar 1888.



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Rendering of the planned 20-story Mosaic tower by Willow Valley Communities, anticipated to begin construction in 2024 at 32 W. Vine St.

**Mosaic by Willow Valley Communities (Mixed-Use 55+ Residential Tower with Restaurants)**  
32 W. Vine Street

Willow Valley Communities' mixed-use Mosaic tower, with groundbreaking planned for 2024, will make the northwest corner of Queen & Vine Streets the new hot address in Lancaster. The planned 20-story (244-ft.), 55-and-up luxury senior living high-rise, to be the tallest building in Lancaster County, will feature 146 apartments, bringing approximately 260 new residents to Downtown. The mixed-use project will also feature new amenities including a rooftop bar and terrace, and ground-floor restaurant. Completion is anticipated for 2025.

To learn more, visit: <https://mosaiclanaster.com/>

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Bird's-eye rendering of the intersection of South Queen & Vine streets, facing north, illustrating the LCCCA property the Historic Swan Hotel's relationship to Willow Valley Communities' planned mixed-use Mosaic tower, Southern Market Food Hall, and the planned Thaddeus Stevens & Lydia Hamilton Smith Center for History and Democracy.



View of Downtown Lancaster, facing west, at sunrise. The historical Grist Building is at center. *(Photo courtesy of The Drone Geek)*

## 2.02 About the City of Lancaster

The City of Lancaster, settled in 1730 and incorporated in 1742, holds the distinction of being one of the oldest inland cities in the United States. Enriched by its history and characterized by unique architectural styles, the city is centrally nestled within Lancaster County's expansive and picturesque countryside, serving as the county seat and regional hub for the county's more than half-a-million residents. Despite its relatively small size, with a population of approximately 60,000 residents and covering seven square miles, Lancaster City has garnered attention for its vibrant blend of historic allure and modern urban living. As a dense and compact community, it is very walkable.

Over the years, Lancaster City has garnered recognition as a top destination, drawing visitors to its eclectic streets adorned with a plethora of shops, many of which have historical significance. These historic blocks also house nationally acclaimed restaurants that cater to diverse tastes, adding to the city's appeal as a culinary hub. The artistic spirit flourishes here, evident in the captivating art galleries that showcase both local and international talents, allowing visitors to immerse themselves in a rich cultural experience.

With a culinary landscape boasting over 90 dining establishments, the city takes pride in its culinary scene, which values the use of fresh and locally sourced ingredients. From casual coffee shops to lively bars and pubs, Lancaster City offers a range of options for socializing and relaxation. The city's embrace of art extends beyond galleries, as public art installations contribute to its vibrant atmosphere.

Beyond its contemporary vibrancy, Lancaster City holds a deep historical significance that sets it apart. While Lancaster County is globally renowned for its pastoral landscapes and Amish community, the city stands as the county's urban nucleus with its own remarkable history. Over 250 years of events and developments have shaped its character, leading to an impressive collection of well-preserved historic buildings and neighborhoods. This historical legacy is not confined to museums but rather is woven into the fabric of the modern city, creating a dynamic coexistence of past and present.



On First Friday, crowds gather outside of the many art galleries on Gallery Row in the 100 block of North Prince Street, just a short walk from the intersection of Queen & Vine Streets.



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In essence, Lancaster City offers a multifaceted experience—anchored in history, adorned with unique architecture, and enriched by a thriving urban culture—that beckons visitors to explore and engage with its timeless yet ever-evolving charm.

A major employment center of 40,000 workers, Lancaster City has long been the location of choice for regional and international headquarters such as Fulton Bank, LNP Media Group, Inc., Cargas Systems, and the Woodstream Corporation. Increasingly, Lancaster is also a preferred location for a growing number of smaller entrepreneurial companies looking for a vibrant urban experience for their employees and clients.

Institutions of higher education account for over 7,000 students at Franklin & Marshall College, Pennsylvania College of Art and Design, Millersville University - Lancaster, Thaddeus Stevens College of Technology, Pennsylvania College of Health Sciences, Lancaster Theological Seminary, and Lancaster Bible College. Just outside of the City, Harrisburg Area Community College enrolls another 5,000 students annually.

The City is very accessible as well. Home to the nation's 22<sup>nd</sup> busiest Amtrak station (2<sup>nd</sup> busiest in Pennsylvania), travel to and from Lancaster is easily accessible via road or rail to cities such as Washington DC, Baltimore, Philadelphia, and New York.

Lancaster also enjoys its own regional airport located just five miles from the heart of the City.

For up-to-date data and statistics about the City of Lancaster, visit:

<https://lancasterblockbyblock.com/dashboard/>

## 2.03 State of the City

Lancaster City has seen tremendous growth over the last decade. Not only is the population growing, but Downtown and outlying areas have seen nearly \$3 billion in public and private investment completed and underway over the last 15 years. This includes a net of 320 new or expanded stores, attractions and restaurants in the City, many in Downtown.



The mixed-use commercial/residential adaptive reuse redevelopment "101NQ" at 101 North Queen Street, two blocks north of the intersection of Queen & Vine Streets, completed in 2019.

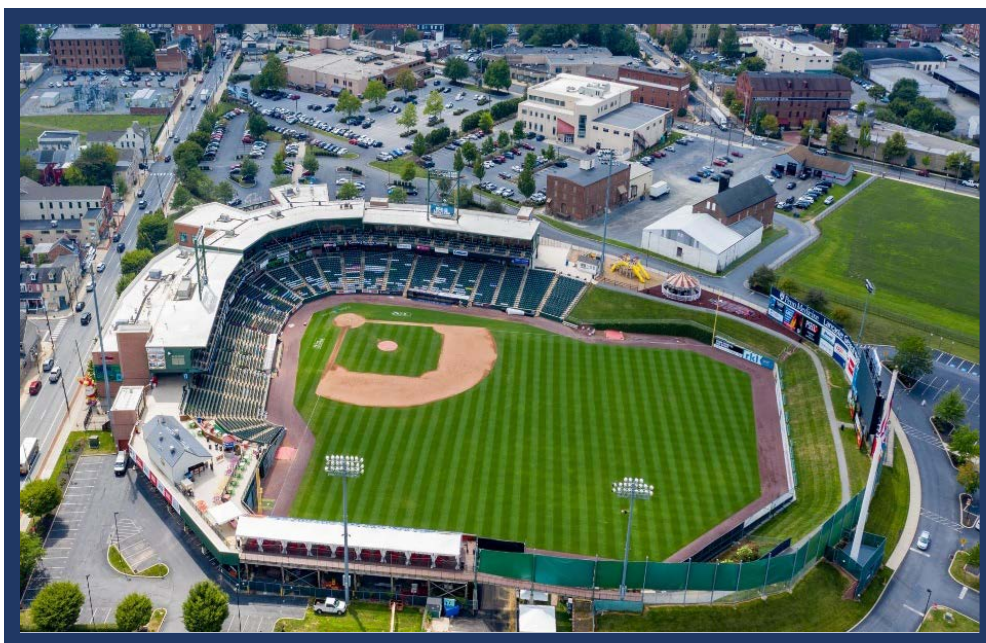
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Entrepreneurial spirit is very high with many young adults setting up shop and calling Lancaster City home. Empty nesters are also attracted to the vibrancy of the City, the strong housing stock, walkability and great cultural attractions and restaurants.



Customers dine at Passerine, one of the Downtown's culinary destinations on North Prince Street.

A very strong and expanding arts community is based here with over 90 venues throughout the City which helps to attract the one million visitors each year to our galleries, attractions, independent retailers and venues such as Clipper Magazine Stadium and the Lancaster County Convention Center.



Clipper Magazine Stadium, home to the Lancaster Barnstormers baseball team, located eight blocks north of Queen & Vine Streets.



Concert-goers enjoy a performance at the live music venue Tellus360 at 24 East King Street, adjacent to the Lancaster County Convention Center.

#### 2.04 Explore Lancaster's Rich Amenities and Attractions

Rich in heritage, culture, and high-quality urban amenities, the city of Lancaster has something for everyone. Our small-town, bustling city atmosphere offers exceptional dining, diverse shopping, and unique attractions. Learn more: <https://visitlancastercity.com/>

#### 2.05 Business is Welcome in the City of Lancaster

The City of Lancaster effectively creates a “business friendly” environment with the intent of facilitating business growth and expansion. The City encourages the private sector to seek out new ventures, open and expand businesses and create jobs. The better the relationship between the City and business (existing and new), the more likely that the City will prosper. Learn more: <https://www.cityoflancasterpa.gov/business/>

#### 2.06 *Building On Strength*, The Economic Development Strategic Plan for the City of Lancaster (2015-2030)

*Building On Strength*, the Economic Development Strategic Plan for the City of Lancaster, PA (2015-2030), capitalizes on the city's successful track record of growth, highlighting its appeal for investment, access to rich amenities, thriving arts scene, and entrepreneurial vigor. The plan leverages past urban development successes to forge a strategy guiding the city's trajectory through 2030. It emphasizes an environment nurturing growth, enhancing residents' economic well-being, and laying the foundation for sustainable urban economic development. Lancaster aims to leverage its successful history to continue economic progress, attract entrepreneurs, and set an example of successful urban development.



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The plan's aspirations encompass diverse objectives including talent attraction, livable wage job creation, collaboration with educational institutions, equitable opportunities, targeted economic development to enhance neighborhood commercial districts and property values, and fostering an environment conducive to small businesses. By 2030, the plan envisions significant achievements: rising incomes, the addition of 300 new hotel rooms to support the growth of the Lancaster County Convention Center and the City's merchants, 2,500 new residential units, 100,000 square feet of new retail/restaurant space, 300,000 square feet of office/flex space, \$1 billion in privately led investment, and a shift towards private investment outweighing public investment in economic development, solidifying Lancaster City as a vibrant urban model.

The City of Lancaster, since the *Building On Strength* plan's adoption by Lancaster City Council in 2015, is well on its way to meeting these goals. See the [2030 Outcomes Dashboard](#).

Lancaster City Alliance developed, and manages the implementation of, the *Building On Strength* Plan. To learn more about the plan, including about the plan's recommendations for the key intersection of Queen & Vine Streets, visit: <https://lancastercityalliance.org/plan-overview-and-strategies/>

#### **2.07 *Lancaster Convention District Futures Study*** (Convention, Sports & Leisure, April 2023)

The [Lancaster Convention District Futures Study](#) is designed to guide and coordinate community efforts around initiatives that will elevate the Lancaster County Convention Center (LCCC) and its surrounding environment as a convention destination. The study will serve as a valuable tool in helping to shape a vision for future development in Downtown Lancaster, identify opportunities to best maintain the area around the Lancaster County Convention Center, and prioritize LCCC investments that will position it for long-term success in the convention marketplace, among other objectives.

#### **2.08 *Our Future Lancaster: The Comprehensive Plan for the City of Lancaster***

The City of Lancaster's latest Comprehensive Plan for the community has recently been adopted. The new plan calls for strengthening key commercial areas such as the Queen & Vine Streets gateway in alignment with the *Building On Strength* Economic Development Strategic Plan.

To learn about the new draft plan and its strategies, visit: <https://ourfuturelancaster.com/>

## Section 3 - Submission Instructions & Information

### 3.01 Desired Qualifications

- Urban redevelopment & design experience
- Experience in the adaptive reuse of historic structures
- Financial capacity to undertake project
- Experience in private/public partnerships
- Proven ability to execute urban projects
- Sustainable building practices

### 3.02 Submission Requirements

- Proposals:
  - Two (2) hard copies:
    - One (1) unbound hard copy
    - One (1) bound hard copy in binder
  - One (1) digital (PDF) copy emailed to LCCCA Executive Director Kevin R. Molloy at [krmolloy@lccca.com](mailto:krmolloy@lccca.com)
- Cover letter summarizing qualifications, approach, proposed project description and uses
- Detailed description of the Project Team and their roles
- Development team partners' biographies/resumes
- List and summary description of relevant work (within the last 5 years) including project costs and methods, amounts, and sources of financing
- List of no less than three professional references
- Proposed project schedule
- Statement of financial capacity
- Proposed participation of the property owners

### 3.03 Timeline and Process (Key Dates Tentative and Subject to Change)

The LCCCA will manage the sale process and will likely seek assistance from the City of Lancaster and Lancaster City Alliance.

February 9, 2024	Promotion, release and distribution of Request for Proposal.
March 19, 2024 11:00 am	Walk property exterior & ground floors.
March 26, 2024 11:00 am	Submission of written questions deadline.
	<i>Questions may be submitted via email (<a href="mailto:krmolloy@lccca.com">krmolloy@lccca.com</a>), but must be by writing only.</i>
Week of April. 2, 2024	Responses to questions distributed.
April. 16, 2024- 11:00 am	Submission of "Proposals" required at LCCCA Office.

Request for Proposal (RFP)  
Public Sale and Redevelopment of Historic Swan Hotel

Proposals will be prioritized for consideration to advance to next steps (including interviews and invitations to submit more detailed proposals) based on their commitments to address the needs outlined in the April 6, 2023 Convention, Sports & Leisure's *Lancaster Convention District Futures Study* including lodging, restaurant, and entertainment uses. Based on the submissions received, the LCCCA may invite one or more respondents to submit more detailed proposals as part of a formal Request for Proposals process.

Week of April 22, 2024	Short interviews with entities submitting proposals.
April 29, 2024	Potential second interviews of top proposals.
May 6, 7, 2024	Development agreements are negotiated.
May 16, 2024	Development agreement announced.

**3.04 Submission Contact Information (including for written questions)**

Lancaster County Convention Center Authority  
Attn: Kevin R. Molloy, Executive Director  
25 South Queen Street  
Lancaster, PA 17603  
[krmolloy@lccca.com](mailto:krmolloy@lccca.com)

**3.05 Lancaster County Convention Center Authority (LCCCA) Not Responsible for Preparation Costs**

The LCCCA will not pay for any cost associated with the preparation, submittal, presentation or evaluation of any submission.



The intersection of Queen & Vine Streets. View looking north on South Queen St toward the city center at Penn Square from Vine St.. The Lancaster County Convention Center facilities and LancasterHistory's planned Thaddeus Stevens & Lydia Hamilton Smith Center for History & Democracy facilities seen at right.



## Section 4 - Selection Criteria & Process

### 4.01 Selection Criteria

Selection criteria shall include, but may not be limited to:

- Proposed uses and massing
  - Ability to address the recommendations of Convention, Sports & Leisure's [Lancaster Convention District Futures Study \(April 2023\)](#)
    1. Lodging
    2. Dining / entertainment
    3. Adaptive reuse of the Historic Swan Hotel and restoration of its historical façade in accordance with the Secretary of the Interior's Standards for Historic Preservation (required)
- Evidence of development team's knowledge/skills and abilities
- Methodology
- Previous relevant experience, including experience with adaptive reuse of historic structures and new construction
- Proof of financial capacity
- References

Proposals will be evaluated by the LCCCA (Property Owner).

### 4.02 Interviews

Upon receipt of responses, LCCCA will determine a short list of submissions that are deemed most qualified. The short-listed teams will be invited to be interviewed. The interview will consist of up to a 20-minute presentation by the consultant team, a question-and-answer session, and a 5-minute wrap-up.

### 4.03 Development Agreements

The highest-ranking proposals will be invited to prepare detailed development proposals to include uses, design, financing and timeline. Based on the response, several Development Teams may be selected.

At the end of the selection process, the LCCCA may negotiate development agreements, or or sales agreement other appropriate agreement with the selected Development Teams.

## Section V - About the Lancaster County Convention Center Authority



The Lancaster County Convention Center Authority (LCCCA) directs the publicly owned Lancaster County Convention Center in Lancaster, Pa. (The adjoining Lancaster Marriott Hotel at Penn Square is owned by the Redevelopment Authority of the City of Lancaster and leased to Penn Square Partners, the private company that holds the Marriott franchise.)

Run by a staff of two and a seven-member volunteer board appointed by City and County officials, the LCCCA is established under the [Municipal Authority Act of 1945 and the Third-Class County Convention Center Authority Act](#).

The board is charged with providing a unique and inviting convention/ exhibition / event venue with an integrated, privately owned, first-class headquartered hotel.

### Mission

Provide an inviting, well managed, and well-maintained Lancaster County Convention Center facility for guests.

### Outcome

Lancaster County Convention Center contributes to the economic development of the City of Lancaster and Lancaster County.

The LCCCA is also working with LancasterHistory to preserve and promote the Stevens and Kleiss historical buildings located in the convention center complex. The plan is to have the historical Lydia Smith properties be developed into Lancaster County Convention Center Authority offices as a part of a different project.